



1 August 2024

Notification of Development Application No. 2023/017

Site Description: PLT: 1 DP: 1173974, Gunnedah Family & Children's Services 54 Hunter Street GUNNEDAH.

Notice is given that a Development Application has been submitted for Council's consideration that involves new additions to the existing Childcare Centre (two additional rooms and new amenities).

The address of the proposed development is 54 Hunter Street GUNNEDAH.

The applicant is SAE Design and Gunnedah Shire Council is the consent authority.

The Development Application has been placed on public exhibition for a period of **15** days. The documents may be inspected at Council's office during office hours 9am-4pm or on Council's website <http://www.gunnedah.nsw.gov.au/>.

Any person may make a written submission about this application to the General Manager, Gunnedah Shire Council, PO Box 63, Gunnedah NSW 2380 or via email council@infogunnedah.com.au. The issues you raise will be included in the evaluation of the development application, along with the other matters Council must consider

Submissions should be received no later than 5.00pm on **16 August 2024**. All submissions **must** include disclosure of any reportable political contribution or gift made in the previous two years.

If the submission includes an objection to the proposal, the grounds of objection must be given. You are advised that you may request that your name and address not be disclosed by stating prominently "OBJECTION IN CONFIDENCE" on your submission for reason that disclosure would result in detriment to you. However, Council may be obliged to release these details under the Freedom of Information Act 1989 even if these words are used in the submission. Further, submissions that do not contain the author's name and address may not be considered as Council will be unable to validate the submissions authenticity.

If you have any enquiries in relation to this Development Application, please contact Council's Duty Planner on 6740 2100

Yours faithfully

Wade Hudson
MANAGER DEVELOPMENT ASSESSMENT

Contact: 6740 2100
Reference: 2023/017
/w

Development Consent Cover Sheet – Council's Use

Made under the Environmental Planning & Assessment Act.1979

LAST UPDATED 23 JULY 2021

Date: 22/03/2023

DEVELOPMENT APPLICATION NUMBER

Development Application Number: 2023/017

APPLICANT DETAILS

Name(s): Steve Edgar (SAEDesign)

Address:

Town:

Telephone:

Email:

LAND TO BE DEVELOPED

Address: 54 Hunter St, Gunnedah

Lot Number: 1 DP Number: 1173974 Site Area: 15.1ha

BRIEF DESCRIPTION AND USE OF PROPOSED DEVELOPMENT

New Additions to existing Childcare Centre

PROPOSED DEVELOPMENT DETAILS

☒ Local Development

☐ Integrated Development (requires approval under another Act)

☐ Designated Development (requires an EIS to be submitted)

Total Project Value: \$200,000

Applicant contact details

Title	Mr
First given name	Steve
Other given name/s	
Family name	Edgar
Contact number	
Email	
Address	
Application on behalf of a company, business or body corporate	No

Owner/s of the development site

Owner/s of the development site	A company, business, government entity or other similar body owns the development site
Owner #	1
Company, business or body corporate name	TAFE Gunnedah
ABN / ACN	

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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Developer details

ABN	
ACN	
Name	
Trading name	
Address	
Email Address	

Development details

Application type	Development Application
Site address #	1
Street address	28 MARQUIS STREET GUNNEDAH 2380
Local government area	GUNNEDAH
Lot / Section Number / Plan	1/-/DP1173974 <input checked="" type="checkbox"/>
Primary address?	Yes
	Land Application LEP Gunnedah Local Environmental Plan 2012 Land Zoning R2: Low Density Residential

Planning controls affecting property	Height of Building
	NA
	Floor Space Ratio (n:1)
	0.5:1
	Minimum Lot Size
	650 m ²
	Heritage
	NA
	Land Reservation Acquisition
	NA
	Foreshore Building Line
	NA

Proposed development

Proposed type of development	Centre based childcare
Description of development	New Additions to existing Childcare Centre
Provide the proposed hours of operation	
Proposed to operate 24 hours on Monday	No
Monday	8:30 AM - 4:30 PM
Proposed to operate 24 hours on Tuesday	No
Tuesday	8:30 AM - 4:30 PM
Proposed to operate 24 hours on Wednesday	No
Wednesday	8:30 AM - 4:30 PM
Proposed to operate 24 hours on Thursday	No
Thursday	8:30 AM - 4:30 PM
Proposed to operate 24 hours on Friday	No
Friday	8:30 AM - 4:30 PM
Proposed to operate 24 hours on Saturday	
Saturday	-
Proposed to operate 24 hours on Sunday	
Sunday	-
Dwelling count details	
Number of dwellings / units proposed	0
Number of storeys proposed	1
Number of pre-existing dwellings on site	0
Number of dwellings to be demolished	0
Existing gross floor area (m2)	650
Proposed gross floor area (m2)	798
Total site area (m2)	151,000
Cost of development	
Estimated cost of work / development (including GST)	\$200,000.00
Do you have one or more BASIX certificates?	No
Subdivision	
Number of existing lots	
Is subdivision proposed?	No
Proposed operating details	
Number of additional jobs that are proposed to be generated through the operation of the development	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	
Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	No

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	Yes
Have you already applied for approval under s68 of the Local Government Act?	No
Would you like to apply for approval under s68 of the Local Government Act?	Yes
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	Yes
Please provide a description of the proposed tree removal and/or pruning work	An existing mature Lemon Scented Gum to be removed
Number of trees to be impacted by the proposed work	1
Land area to be impacted by the proposed work	
Units	
Approximate area of canopy REQUESTED to be removed	40
Units	Square metres
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No

Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees.

Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

First name	Brad
Other given name(s)	
Family name	Crane
Contact number	
Email address	
Billing address	

Application documents

The following documents support the application.

Document type	Document file name
Architectural Plans	1017-22 PLANS R2
Cost estimate report	1017-22 Cost Summary Form
Statement of environmental effects	1017-22 S of EE

Applicant declarations

I declare that all the information in my application and accompanying documents is, to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes

I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes
I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

EXHIBITION COPY

Cost Summary Report
[Development Cost of \$3,000,000 or less]

DEVELOPMENT APPLICATION No. REFERENCE:
COMPLYING DEVELOPMENT CERTIFICATE APPLICATION No.
CONSTRUCTION CERTIFICATE No. DATE:

APPLICANT'S NAME: Mary Rankin Childcare Centre Gunnedah

APPLICANT'S ADDRESS:

DEVELOPMENT NAME: Alterations + Additions to Existing Childcare

DEVELOPMENT ADDRESS: 28 Marquis Street Gunnedah

ANALYSIS OF DEVELOPMENT COSTS:

Demolition and alterations	\$ 5,000	Hydraulic services	\$ 2,000
Structure	\$ 80,000	Mechanical services	\$
External walls, windows and doors	\$ 15,000	Fire services	\$ 3,000
Internal walls, screens and doors	\$ 15,000	Lift services	\$
Wall finishes	\$ 15,000	External works	\$ 20,000
Floor finishes	\$ 20,000	External services	\$
Ceiling finishes	\$ 5,000	Other related work	\$
Fittings and equipment	\$ 10,000	Sub-total	\$ 190,000

Sub-total above carried forward	\$
Preliminaries and margin	\$
Sub-total	\$
Consultant Fees	\$ 10,000
Other related development costs	\$
Sub-total	\$
Goods and Services Tax	\$
TOTAL DEVELOPMENT COST	\$ 200,000

(incl. GST)

I certify that I have:

- inspected the plans the subject of the application for development consent or construction certificate.
- calculated the development costs in accordance with the definition of development costs in clause 25J of the Environmental Planning and Assessment Regulation 2000 at current prices.
- included GST in the calculation of development cost.

Signed: 

Name: Steve Edgar (SAE Design)

Position and Qualifications: Building Designer

Date: 01/03/2023



SUBJECT SITE



SITE LOCATION

google.com/maps

SCHEDULE OF DRAWINGS

SHEET NAME	SHEET NUMBER	Current Revision
SITE INFORMATION	A000	5
SITE PLAN	A001	5
SITE PLAN	A002	5
ROOF PLAN	A003	5
EXISTING FLOOR PLAN	A004	4
NEW FLOOR PLAN	A005	5
SCHEDULES	A006	5
ELEVATIONS	A007	5
ELEVATIONS	A008	5
SECTIONS	A009	5
SEDIMENT EROSION CONTROL	A010	5
SEDIMENT EROSION CONTROL	A011	5
FACILITY AREAS PLAN	A012	5
FIRE SERVICES PLAN	A013	5



NE VIEW

SITE DETAILS

SITE AREA:	15.1 Ha
LEP-ZONING:	R2 LOW DENSITY RESIDENTIAL
LOCAL GOVERNMENT AREA:	GUNNEDAH SHIRE COUNCIL
FLOOR SPACE RATIO:	0.5:1
DEVELOPMENT TYPE:	PROPOSED ADDITIONS TO EXISTING CHILDCARE
BUILDING CLASSIFICATION:	CLASS 9B
WIND CLASSIFICATION:	N2 SITE CLASSIFICATION TO AS 4055-2006
SOIL CLASSIFICATION:	REFER TO ENG. DETAILS
CL MATE ZONE:	4 (WWW.ABCB.GOV.AU MAP)
BUSHFIRE PRONE LAND:	N/A NO AREAS OF BUSHFIRE PRONE VEGETATION
OTHER CONTROLS:	N/A
CARPARKING:	
CARPARKING CALCULATIONS- (GSC DCP 2012)	
CHILDCARE CENTRE (1 SPACE/5 CHILDREN)	
CHILDREN=	39
TOTAL REQUIRED =	8 spaces
TOTAL CARPARKING PROVIDED=	8 spaces

PROPOSED ALTERATIONS + ADDITIONS

LOT 1 DP1173974, 54 HUNTER STREET, GUNNEDAH
MARY RANKEN CHILDCARE, GUNNEDAH

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SCALE 1 : 100

DATE 21/01/2024
DRAWN SAE
DESIGNED SAE

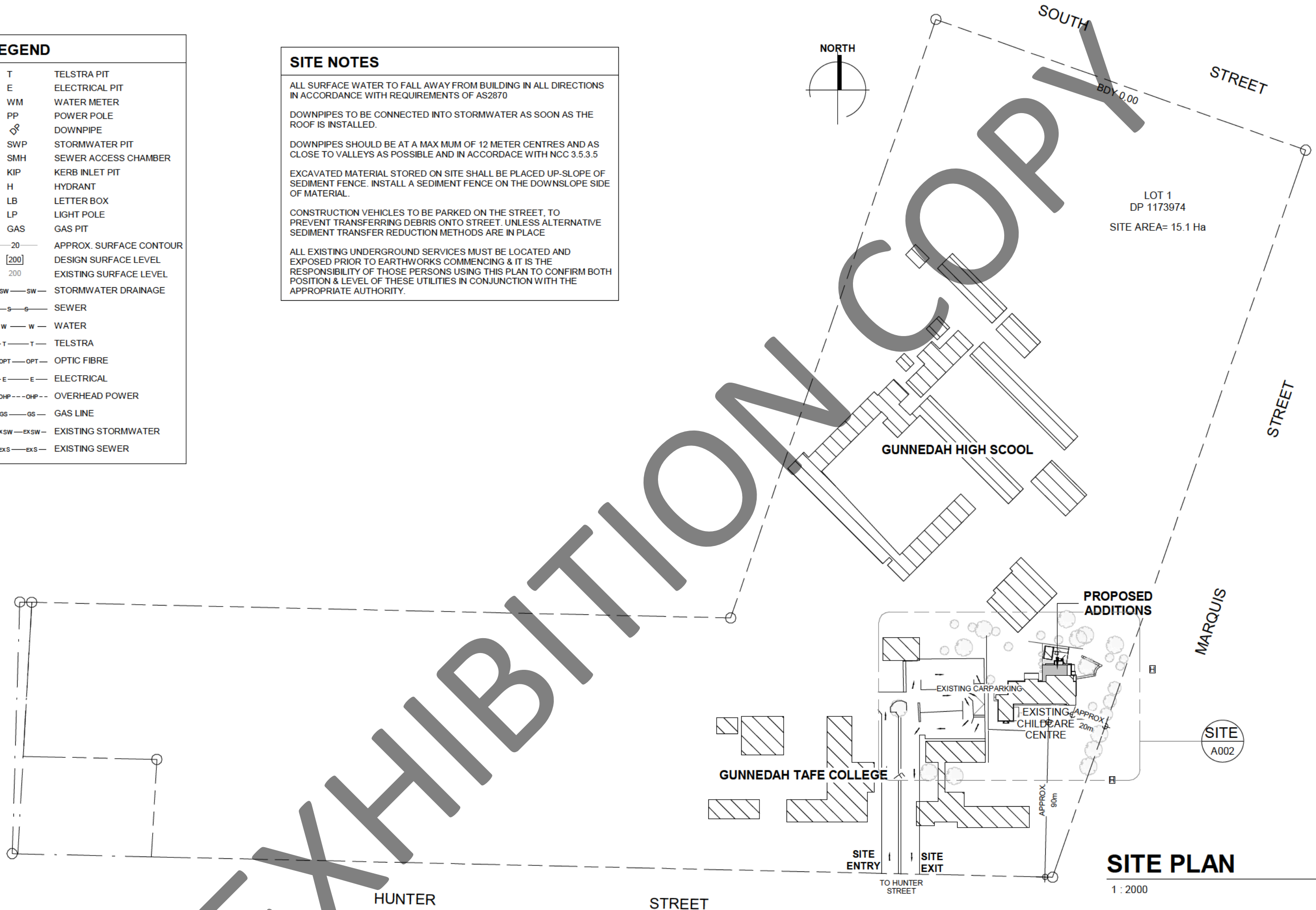
REVISION
1 PRELIMINARY ISSUE 08/11/2022
2 FOR DA SUBMISSION 07/02/2023
3 DA AMENDMENTS 10/11/2023
4 AMENDED FLOOR PLAN 21/01/2024
5 REVISED FLOOR PLAN 17/05/2024

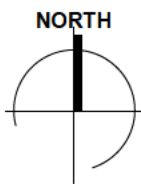
PROJECT No.
1017-22

SHEET
A000

LEGEND	
T	TELSTRA PIT
E	ELECTRICAL PIT
WM	WATER METER
PP	POWER POLE
	DOWNPIPE
SWP	STORMWATER PIT
SMH	SEWER ACCESS CHAMBER
KIP	KERB INLET PIT
H	HYDRANT
LB	LETTER BOX
LP	LIGHT POLE
GAS	GAS PIT
—20—	APPROX. SURFACE CONTOUR
[200]	DESIGN SURFACE LEVEL
200	EXISTING SURFACE LEVEL
—SW—SW—	STORMWATER DRAINAGE
—S—S—	SEWER
—W—W—	WATER
—T—T—	TELSTRA
—OPT—OPT—	OPTIC FIBRE
—E—E—	ELECTRICAL
--OHP--OHP--	OVERHEAD POWER
—GS—GS—	GAS LINE
—EXSW—EXSW—	EXISTING STORMWATER
—EXS—EXS—	EXISTING SEWER

SITE NOTES
ALL SURFACE WATER TO FALL AWAY FROM BUILDING IN ALL DIRECTIONS IN ACCORDANCE WITH REQUIREMENTS OF AS2870
DOWNPIPES TO BE CONNECTED INTO STORMWATER AS SOON AS THE ROOF IS INSTALLED.
DOWNPIPES SHOULD BE AT A MAX MUM OF 12 METER CENTRES AND AS CLOSE TO VALLEYS AS POSSIBLE AND IN ACCORDACE WITH NCC 3.5.3.5
EXCAVATED MATERIAL STORED ON SITE SHALL BE PLACED UP-SLOPE OF SEDIMENT FENCE. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL.
CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET, TO PREVENT TRANSFERRING DEBRIS ONTO STREET. UNLESS ALTERNATIVE SEDIMENT TRANSFER REDUCTION METHODS ARE IN PLACE
ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.





EXISTING GUNNEDAH
HIGH SCHOOL BUILDING

EXISTING TAFE
BUILDING

EXISTING SHADE
STRUCTURE

EXISTING SHADE
STRUCTURE

EX. CLASSROOM

EX. SHED

EX. COLORBOND FENCE 1.8m HIGH

GATE

EX. PLAYGROUND

PROPOSED
ADDITIONS

EXISTING SHADE
STRUCTURE

EX. PLAYGROUND

EX. M/BOX

APPROX
20m

EX. COLORBOND FENCE 1.8m HIGH

EX. GATE

EX. GATE

EXISTING SECURITY FENCE 1.8m HIGH

MARQUIS
STREET

EXISTING DROP-OFF
ZONE

CHILDCARE CENTRE
CARPARKS (8 No.)

45 CARPARKS
SHARED WITH TAFE

EXIST NG CARPARKING

EXIST NG CARPARKING

(16)

(11)

(9)

(9)

(46)

EXIST NG CARPARKING

SITE
EXIT

TO HUNTER
STREET

SITE
ENTRY

SITE PLAN - Callout 1

1 : 400

PROPOSED ALTERATIONS + ADDITIONS

LOT 1 DP1173974, 54 HUNTER STREET, GUNNEDAH

MARY RANKEN CHILDCARE, GUNNEDAH

LEGEND

T	TELSTRA PIT
E	ELECTRICAL PIT
WM	WATER METER
PP	POWER POLE
DP	DOWNPIPE
SWP	STORMWATER PIT
SMH	SEWER ACCESS CHAMBER
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—GS—GS—	GAS LINE
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—EXS—EXS—	EXISTING SEWER

SITE NOTES

ALL SURFACE WATER TO FALL AWAY FROM BUILDING IN ALL DIRECTIONS IN ACCORDANCE WITH REQUIREMENTS OF AS2870

DOWNPIPES TO BE CONNECTED INTO STORMWATER AS SOON AS THE ROOF IS INSTALLED.

DOWNPIPES SHOULD BE AT A MAX MUM OF 12 METER CENTRES AND AS CLOSE TO VALLEYS AS POSSIBLE AND IN ACCORDANCE WITH NCC 3.5.3.5

EXCAVATED MATERIAL STORED ON SITE SHALL BE PLACED UP-SLOPE OF SEDIMENT FENCE. INSTALL A SEDIMENT FENCE ON THE DOWNSLOPE SIDE OF MATERIAL.

CONSTRUCTION VEHICLES TO BE PARKED ON THE STREET, TO PREVENT TRANSFERRING DEBRIS ONTO STREET. UNLESS ALTERNATIVE SEDIMENT TRANSFER REDUCTION METHODS ARE IN PLACE

ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED AND EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.

EXTERNAL LIGHTING NOTES:

EXTERNAL LIGHTING TO COMPLY WITH THE LOCAL DCP + AS4282 CONTROL OF OBTRUSIVE LIGHTING

EXTERNAL LIGHTING TO BE LOCATED IN APPROPRIATE LOCATION TO REDUCE THE EFFECTS OF LIGHT SPILL

LIGHTING SHOULD BE DIRECTED DOWNWARDS + TOWARDS THE AREA TO BE ILLUMINATED.

SHIELDED LIGHTS WHICH DIRECT LIGHT ONTO THE INTENDED AREA TO BE USED.

THE LEVEL OF ILLUMINATION TO BE APPROPRIATE FOR THE AREA TO BE ILLUMINATE.

SCALE As indicated

DATE 21/01/2024
DRAWN SAE
DESIGNED SAE

REVISION
1 PRELIMINARY ISSUE
2 FOR DA SUBMISSION
3 DA AMENDMENTS
4 AMENDED FLOOR PLAN
5 REVISED FLOOR PLAN

DATE
08/11/2022
07/02/2023
10/11/2023
21/01/2024
17/05/2024

PROJECT No.
1017-22

SHEET
A002

ROOF PLAN

1 : 200

PROPOSED ALTERATIONS + ADDITIONS

LOT 1 DP1173974, 54 HUNTER STREET, GUNNEDAH

MARY RANKEN CHILDCARE, GUNNEDAH

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SCALE

As
indicated

DATE

21/01/2024

DRAWN

SAE

DESIGNED

SAE

REVISION

1
2
3
4
5

DESCRIPTION

PRELIMINARY ISSUE
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REVISED FLOOR PLAN

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08/11/2022
07/02/2023
10/11/2023
21/01/2024
17/05/2024

PROJECT No.

1017-22

SHEET

A003

LEGEND

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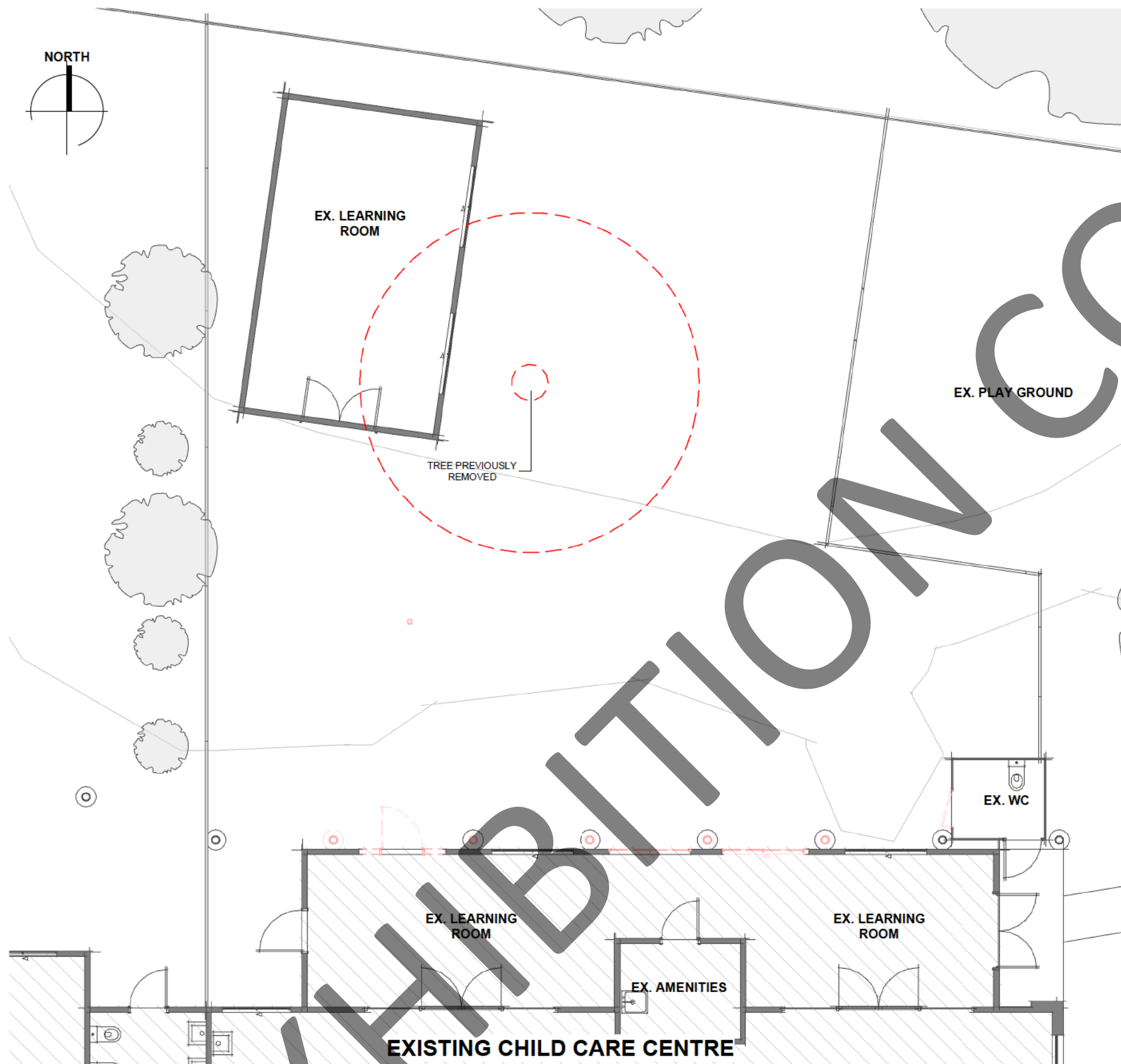
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EXISTING FLOOR PLAN

1 : 100

PROPOSED ALTERATIONS + ADDITIONS

LOT 1 DP1173974, 54 HUNTER STREET, GUNNEDAH

MARY RANKEN CHILDCARE, GUNNEDAH

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GENERAL SAFETY NOTE:

- ALL PATHS OF TRAVEL BOTH DURING & AFTER CONSTRUCTION ARE TO REMAIN FREE OF OBSTRUCTIONS.
- ALL ACCESS TO THE SITE DURING CONSTRUCTION IS TO REMAIN LIMITED TO AUTHORISED PERSONNEL WHO ARE TO BE MADE AWARE OF THIS REPORT.
- FUTURE DEMOLISHED TO ADHERE TO THE CODE OF PRACTICE FOR DEMOLITION WORK.
- ADEQUATE VENTILATION IS TO BE ALLOWED FOR BOTH DURING & AFTER CONSTRUCTION TO PREVENT INJURY DUE TO HEAT AND/OR AIR BORN CONTAMINANTS.
- ALL COMPONENTS OF THE CONSTRUCTION ARE COMPLY WITH NCC & ALL RELEVANT AUSTRALIAN STANDARDS & ANY ADDITIONAL FUTURE WORK IS TO BE DESIGNED & CARRIED OUT WITH REFERENCE TO THESE.
- POSITIONING OF NOISY PLANT EQUIPMENT BOTH DURING AND AFTER CONSTRUCTION MUST BE CARRIED OUT TO PREVENT NUISANCE AND/OR INJURY TO NEIGHBORING PROPERTIES.
- THE PROJECT MANAGER, CONSTRUCTION MANAGER, BUILDER & ANYONE IN CHARGE OF THE SITE/BUILDING BOTH DURING & AFTER CONSTRUCTION MUST IMPLEMENT ALL SAFETY REQUIREMENTS IN ACCORDANCE WITH THE NCC & ALL RELEVANT STANDARDS. ANY ACTIONS NOT IN COMPLIANCE BECOME THE RESPONSIBILITY OF THE PERSON/PERSONS WHO CARRIED THEM OUT.
- ALL PRODUCTS SELECTED BY THE OWNER & NOT APPROVED BY THE DESIGNER ARE THE RESPONSIBILITY OF THE OWNER.

SCALE 1 : 100

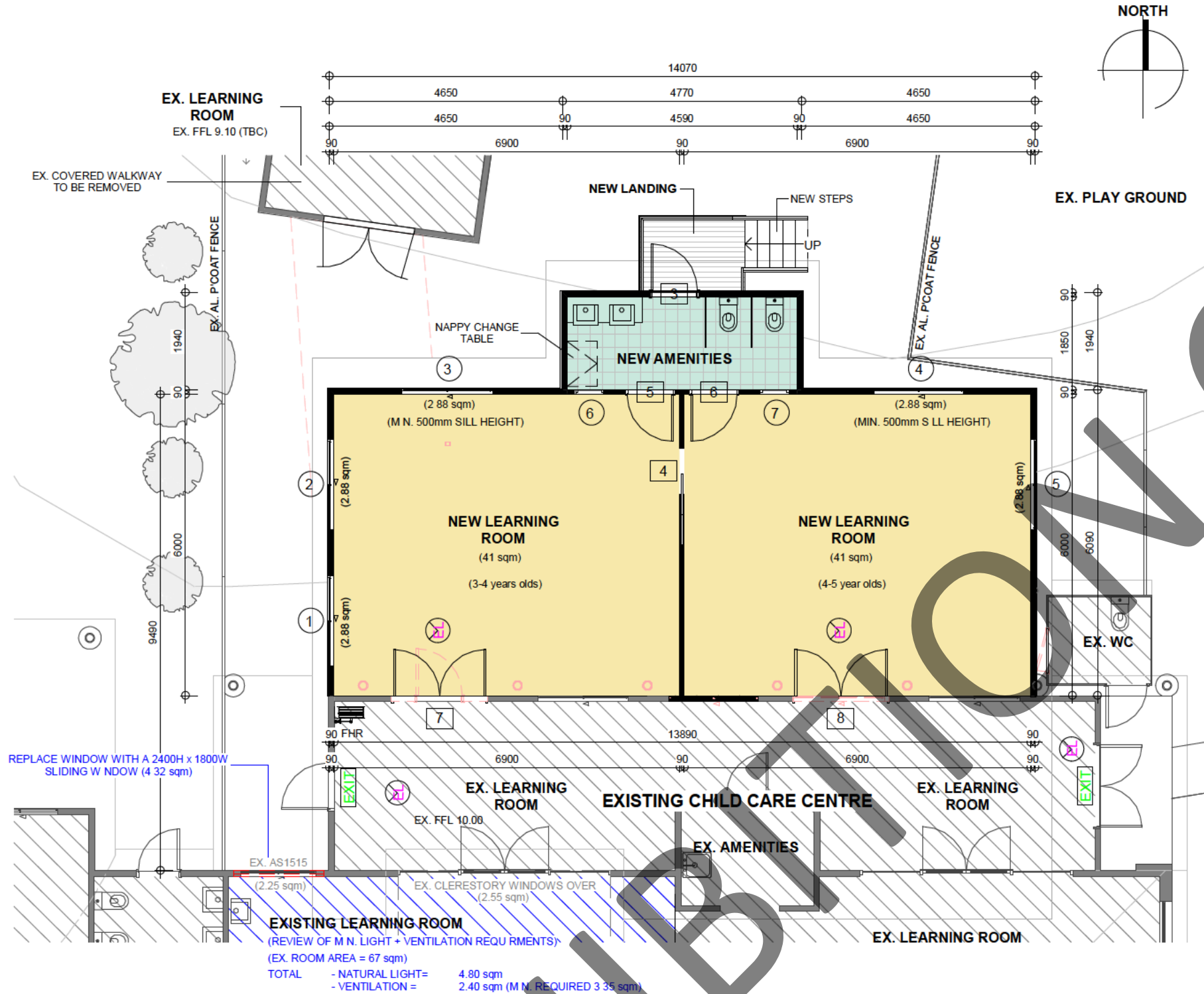
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PROJECT No.
1017-22

SHEET
A004



NEW FLOOR PLAN

1 : 100

GENERAL AREAS		
Name	Area	Comments
EX. WC	3.8 m ²	
EXISTING BUILDING	650.0 m ²	
EXISTING CLASSROOM	31.6 m ²	
NEW ADDITIONS	96.3 m ²	
NEW DECK AREA	3.1 m ²	
TOTAL	784.8 m ²	

LEGEND	
TL	SELECTED TILE SURFACE
CPT	SELECTED CARPET SURFACE
TM	SELECTED TIMBER FLOOR
VYL	SELECTED VINYL FLOOR
CONC	CONCRETE FLOOR FINISH
SH	SHOWER
WC	SELECTED WATER CLOSET
V	SELECTED WALL MOUNTED VANITY
BTH	SELECTED BATH
FW	FLOOR WASTE
FP	FIRE PLACE
DP	DOWN PIPE
TP	STANDPIPE + HOSE TAP
C	STRUCTURAL COLUMN
H+B	SELECTED HANDRAIL + BALUSTRADE
HR	SELECTED HANDRAIL
EL	EMERGENCY LIGHTING
EXIT	EXIT SIGN
FHR	FIRE HOSE REEL

NOTES:

- ALL DIMENSIONS TO BE CONFIRMED ON SITE.
- ALL WORK SHALL BE IN ACCORDANCE & COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC), COUNCIL BY-LAWS, RELEVANT AUSTRALIAN STANDARDS & CURRENT WORKPLACE STANDARDS CODES OF PRACTICE.
- SMOKE ALARMS COMPLYING WITH AS3786 TO BE INSTALLED WITHIN THE BUILDING IN ACCORDANCE WITH PART 3.7 OF THE NCC.
- ALL SMOKE ALARMS ARE REQUIRED TO BE INTERCONNECTED
- TERMITE MANAGEMENT SYSTEM TO BE INSTALLED IN ACCORDANCE WITH NCC 3.1.4 + COMPLY WITH AS3660.1
- ALL WINDOWS & DOORS SHOWN ARE NOMINAL ONLY. OPENING SIZES ARE TO BE CONFIRMED ON SITE PRIOR TO MANUFACTURER.
- ALL WINDOW FRAMES & GLAZING TO AS1248, AS1288 & AS2047. REFER TO BASIX CERTIFICATE FOR MINIMUM FRAME & GLAZING PROPERTIES FOR GLAZED WINDOWS & DOORS
- PROVISION OF BLOCKING IN WALLS FOR FUTURE HANDRAILS TO BATH, SHOWERS + TOILETS IN ACCORDANCE WITH NCC
- ALL BALUSTRADES SHALL COMPLY WITH REQUIREMENTS OF NCC PART 3.9.2 VOL. 2
- ALL STAIR TREADS MUST HAVE A SLIP RESISTANCE COMPLYING WITH REQUIREMENTS OF NCC PART 3.9.1 VOL. 2 & TEST CERTIFICATE COMPLY WITH AS 4586
- SARKING TO COMPLY WITH AS4200.1 AND WILL HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5
- ALL EXISTING UNDERGROUND SERVICES MUST BE LOCATED & EXPOSED PRIOR TO EARTHWORKS COMMENCING & IT IS THE RESPONSIBILITY OF THOSE PERSONS USING THIS PLAN TO CONFIRM BOTH POSITION & LEVEL OF THESE UTILITIES IN CONJUNCTION WITH THE APPROPRIATE AUTHORITY.
- PLIABLE BUILDING MEMBRANE INSTALLED IN AN EXTERNAL WALL MUST COMPLY WITH AS/NZS 4200.1 + BE INSTALLED IN ACCORDANCE WITH AS 4200.2. THE MEMBRANE TO BE POSITIONED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER THAT FORMS THE EXTERNAL ENVELOPE OF A BUILDING. EXCEPT FOR SINGLE SKIN MASONRY OR CONCRETE WHERE THE PLIABLE BUILDING MEMBRANE IS NOT INSTALLED IN EXTERNAL WALL THEN THE PRIMARY WATER CONTROL LAYER MUST BE SEPARATED FROM WATER SENSITIVE MATERIALS BY A DRAINED CAVITY.

PROPOSED ALTERATIONS + ADDITIONS

LOT 1 DP1173974, 54 HUNTER STREET, GUNNEDAH

MARY RANKEN CHILDCARE, GUNNEDAH

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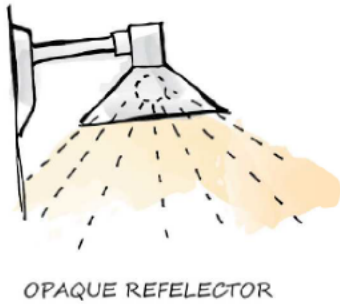
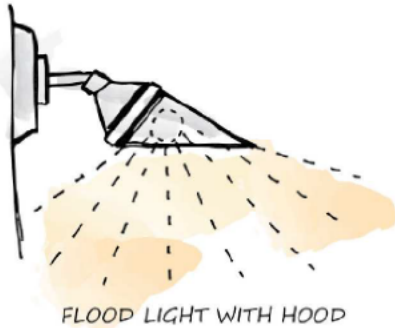
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A005

DOOR SCHEDULE						
Mark	Height	Width	Glazing Area-	Orientation-	Material-	Comments
3	2040	920			AL. FRAMED DBL 920 GLAZED DOORS	
4	2040	1960			920 CAVITY SLIDER	
5	2040	920			AL. FRAMED DBL 920 GLAZED DOORS	
6	2040	920			AL. FRAMED DBL 920 GLAZED DOORS	
7	2040	1840			AL. FRAMED DBL 920 GLAZED DOORS	
8	2040	1840			AL. FRAMED HINGE DOORS	

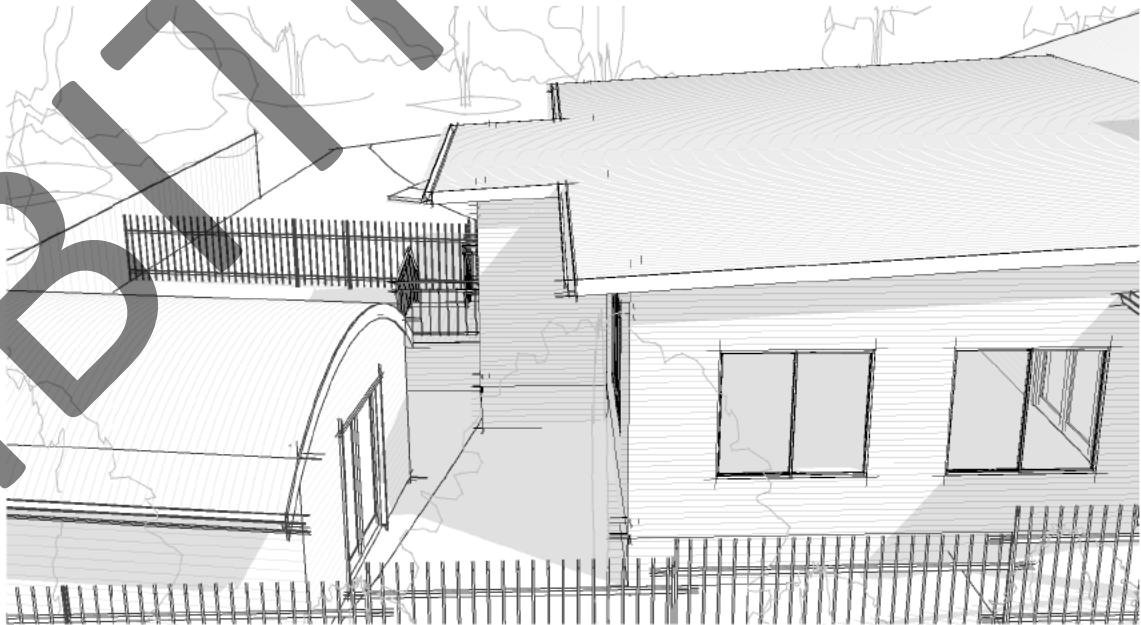
6

WINDOW SCHEDULE							
Mark	Head Height	Height	Width	Glazing Area	Orientation	Material	Comments
1	2100	1600	1800			AL. FRAMED SLIDING	MIN. 500mm SILL HEIGHT
2	2100	1600	1800			AL. FRAMED SLIDING	MIN. 500mm SILL HEIGHT
3	2100	1600	1800			AL. FRAMED SLIDING	MIN. 500mm SILL HEIGHT
4	2100	1600	1800			AL. FRAMED SLIDING	MIN. 500mm SILL HEIGHT
5	2100	1600	1800			AL. FRAMED SLIDING	MIN. 500mm SILL HEIGHT
6	2100	900	600			AL. FRAMED FIXED	
7	2100	900	600			AL. FRAMED FIXED	

7



GSC DCP 2012 Outdoor Lighting:
All external lighting to have directional lighting + hooded lighting to prevent light spill + impacts on surrounding properties.



WEST VIEW

GENERAL SPECIFICATIONS

WALLS:
90mm TIMBER WALL FRAMES WITH TIMBER FRAMED ROOF TRUSSES TO MANUFACTURES DETAILS IN COMPLIANCE WITH AS1170 + AS1720 + NCC 3.4.3

SELECTED EXTERNAL WALL CLADDING TO MATCH EXISTING

VAPOUR PERMEABLE SARKING TO EXTERNAL WALLS TO COMPLY WITH + NCC 3.7.1.2 + NCC 3.8.7

CONSTRUCTION OF EXTERNAL WALL, CEILINGS + FLOORS TO COMPLY + BE INSTALLED IN ACCORDANCE WITH NCC 3.12.3.5 BUILDING SEALING

FLOORS:
REINFORCED CONCRETE RAFT SLAB ON GROUND FLOOR REFER TO ENG. DETAILS

SUSPENDED STEEL FRAMED FLOOR ON SHS ADJUSTABLE PIERS TO NEW DECK AREA TO ENG. DETAILS + NCC 3.4.2

SELECTED VINYL FLOOR FINISH TO NEW INTERNAL LEARNING AREAS

SELECTED TILE FINISH TO NEW AMENITIES

SET DOWN IN SLAB TO WET AREAS WITH TILED FINISH

SELECTED TIMBER FLOOR TO NEW DECK AREA

ROOFS:
SELECTED CUSTOM-ORB COLORBOND ROOF SHEETING TO MATCH EXISTING

COLORBOND GUTTER & FASCIA TO MATCH EXISTING

FC SHEET TO EAVES SOFFIT LINING

VAPOUR PERMEABLE SARKING TO ROOFS TO COMPLY WITH + NCC 3.7.1.2 + NCC 3.8.7

WINDOWS & DOORS:
ALUMINIUM FRAMED WINDOWS

ALUMINIUM FRAMED EXTERNAL SLIDING DOORS

ALUMINIUM FRENCH DOORS

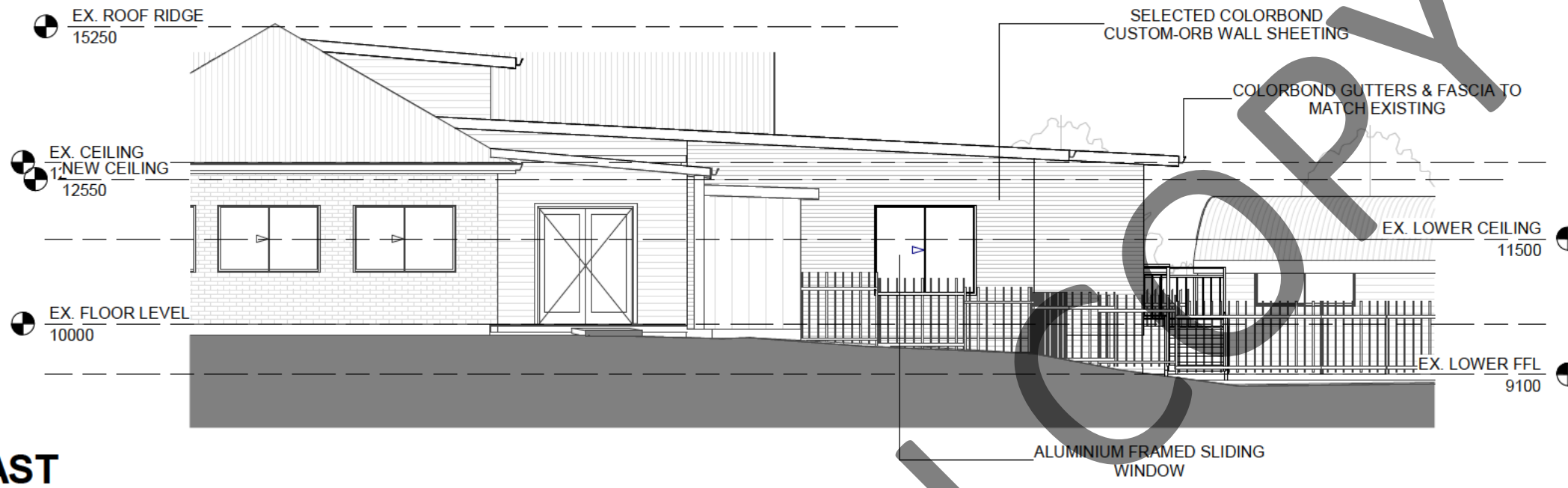
GAUZE SCREENS TO WINDOWS & SLIDING DOORS

EXTERNAL WINDOWS + DOORS TO COMPLY + BE INSTALLED IN ACCORDANCE WITH NCC 3.12.3.3 BUILDING SEALING

GENERAL:
ALL STAIRS TO COMPLY WITH NCC 3.9.1.2 + SLIP RESISTANCE NCC 3.9.1.4

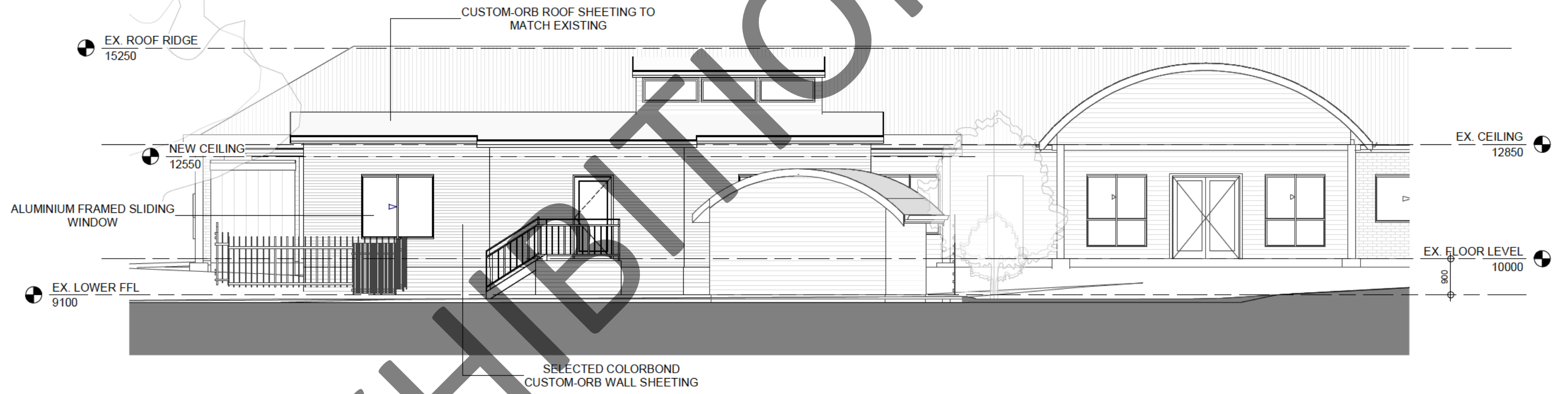
SELECTED CORNICE THROUGH OUT

ALL BATHROOMS TO COMPLY WITH NCC 3.8.5 VENTILATION REQUIREMENTS.



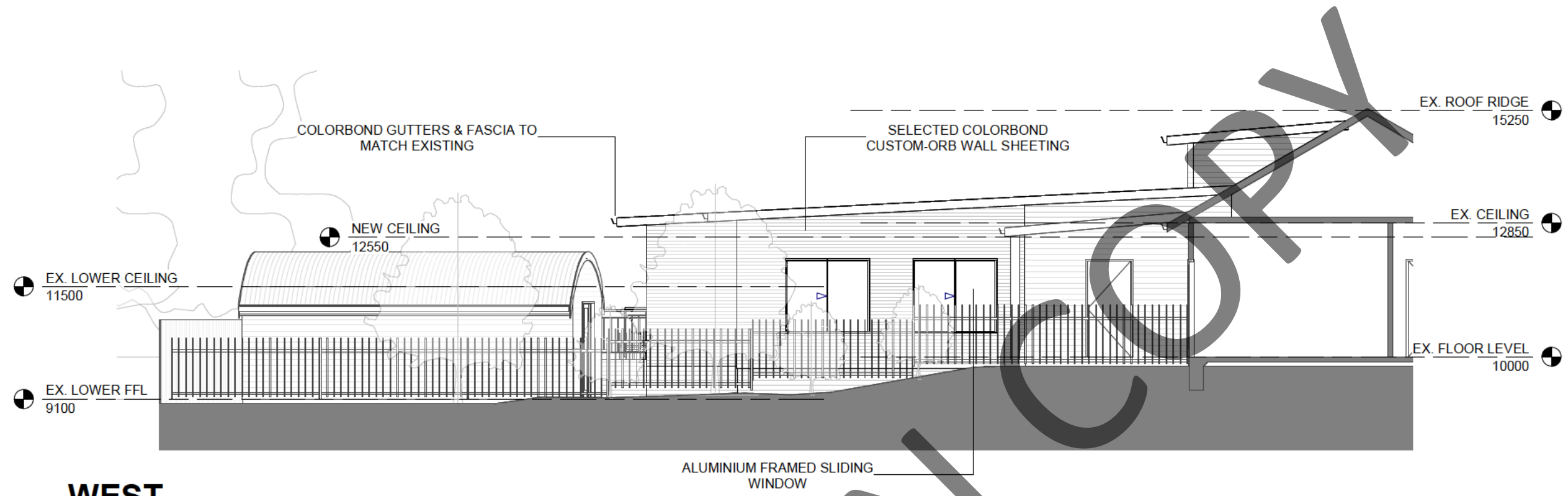
EAST

1 : 100



NORTH

1 : 100



WEST

1 : 100

PROPOSED ALTERATIONS + ADDITIONS

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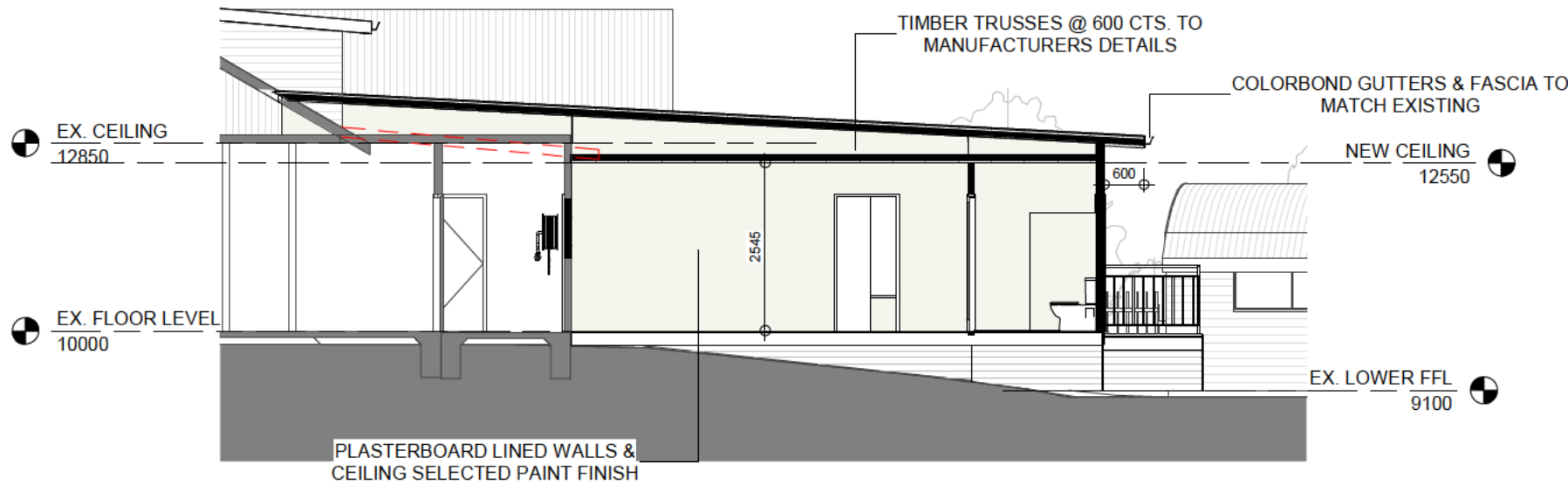
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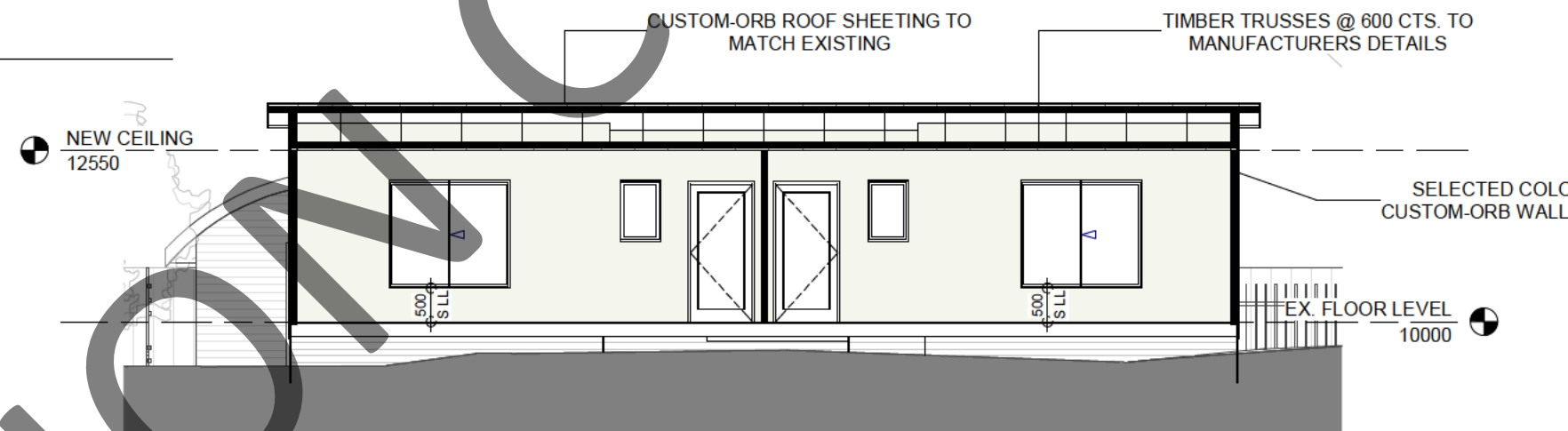
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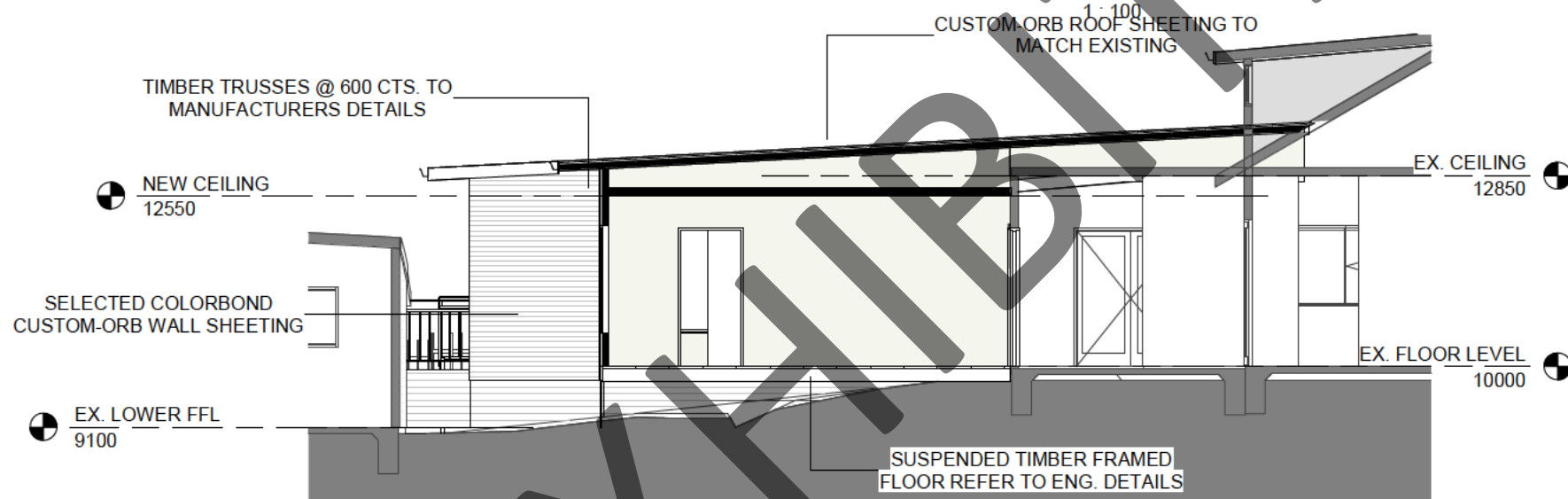
SECTION A

1 : 100



SECTION B

1 : 100



SECTION C

1 : 100

PROPOSED ALTERATIONS + ADDITIONS

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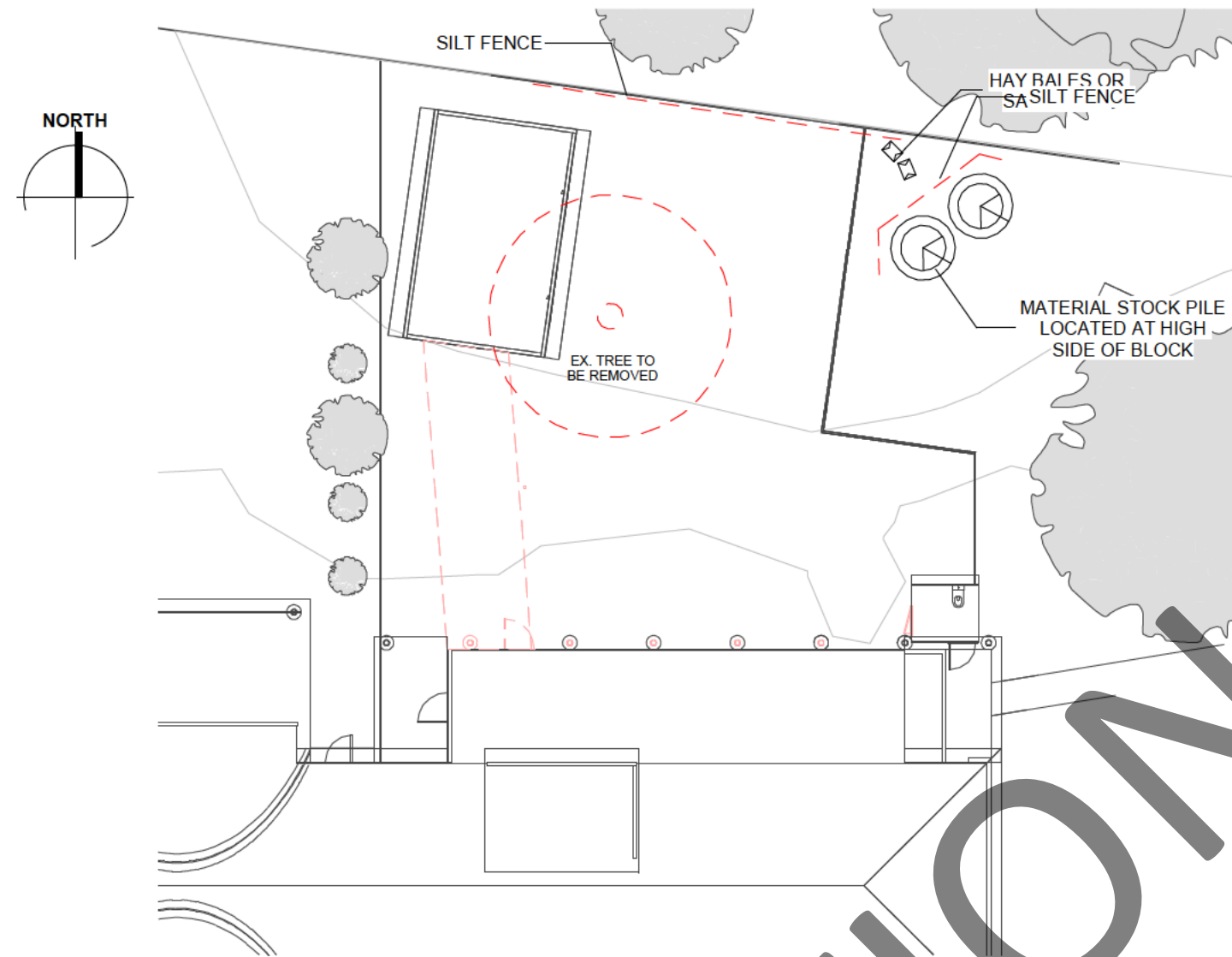
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SEDIMENT EROSION CONTROL PLAN

1 : 200

LEGEND- SEDIMENT EROSION CONTROL

- SILT FENCING
- SHAKER HUMPS
- HAY BALES OR SANDBAGS
- MATERIAL STOCK PILE
- RUN OFF FLOW DIRECTION

SEDIMENT + EROSION CONTROL NOTES

- DO NOT COMMENCE CONSTRUCTION WORK UNTIL OR SEDIMENT CONTROL MEASURES ARE IN PLACE.
- NO MANEUVERING OF VEHICLES OR STOCKPILING OF MATERIALS OUTSIDE THE CONSTRUCTION SITE.
- THE ENTRY/EXIT OF VEHICLES FROM THE SITE WILL BE CONFINED TO ONE STABILISED POINT. SEDIMENT OR BARRIER FENCING WILL BE USED TO RESTRICT ALL VEHICULAR MOVEMENTS TO THAT POINT. STABILISATION WILL BE ACHIEVED BY EITHER:
 - CONSTRUCTING A SEALED (E.G. CONCRETE OR ASPHALT) DRIVEWAY TO THE STREET, CONSTRUCTING A STABILISED SITE ACCESS FOLLOWING STANDARD DRAWING SD 6-14 OR OTHER SUITABLE TECHNIQUE APPROVED BY THE COUNCIL.
- ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED & MAINTAINED BY SITE MANAGER DAILY.
- ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
- ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
- GUTTERING WILL BE CONNECTED TO THE STORMWATER SYSTEM OR A RAINWATER TANK AS SOON AS PRACTICABLE.
- CONSTRUCTION SITE STABILISATION TO COMMENCE IMMEDIATELY ON COMPLETION OF WORKS.
- ALL STOCKPILES TO BE PLACED IN THE LOCATION SHOWN & AT LEAST 2 METRES CLEAR OF ALL AREAS OF POSSIBLE CONCENTRATED WATER FLOW, INCLUDING DRIVEWAYS.
- APPROVED BINS FOR BUILDING WASTE, CONCRETE & MORTAR SLURRIES, PAINTS, ACID WASHINGS & LITTER WILL BE PROVIDED. ARRANGEMENTS MADE FOR REGULAR COLLECTION & DISPOSAL.
- ALL STOCKPILES WILL BE PLACED IN THE LOCATION SHOWN ON THE ESCP & AT LEAST TWO METRES CLEAR OF ALL AREAS OF POSSIBLE AREAS OF CONCENTRATED WATER FLOW, INCLUDING DRIVEWAYS.
- THE FOOTPATH, OTHER THAN STABILISED SITE ACCESS IS NOT TO BE DISTURBED, INCLUDING STOCKPILING OF MATERIALS. WHERE ESSENTIAL WORKS (eg DRAINAGE) ARE REQUIRED, THE FOOTPATH IS TO BE REHABILITATED (TURFED) AS SOON AS POSSIBLE.
- TOPSOIL WILL BE RE-SPREAD & ALL DISTURBED AREAS WILL BE STABILISED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS.
- SEDIMENT FENCES AND BARRIER FENCES WILL BE INSTALLED AS SHOWN ON THE ATTACHED DRAWING (SEE SD 6-8 IN MUS: SOILS & CONSTRUCTION VOL. 1).
- TOPSOIL FROM THE WORKS AREA WILL BE STRIPPED AND STOCKPILED FOR LATER USE IN LANDSCAPING THE SITE (SEE SD 4-1 IN MUS: SOILS & CONSTRUCTION VOL. 1).
- WASTE BINS ARE TO BE PROVIDED FOR BUILDING WASTE OR WASTE ENCLOSURE MIN MUM 1800*1800*1200mm HIGH CONSTRUCTED USING STAR PICKETS AND 1200mm HIGH WEED CONTROL MAT. ARRANGEMENTS ARE TO BE MADE FOR REGULAR COLLECTION & DISPOSAL OR RECYCLING OF CONSTRUCTION WASTE.

PROPOSED ALTERATIONS + ADDITIONS

LOT 1 DP1173974, 54 HUNTER STREET, GUNNEDAH

MARY RANKEN CHILDCARE, GUNNEDAH

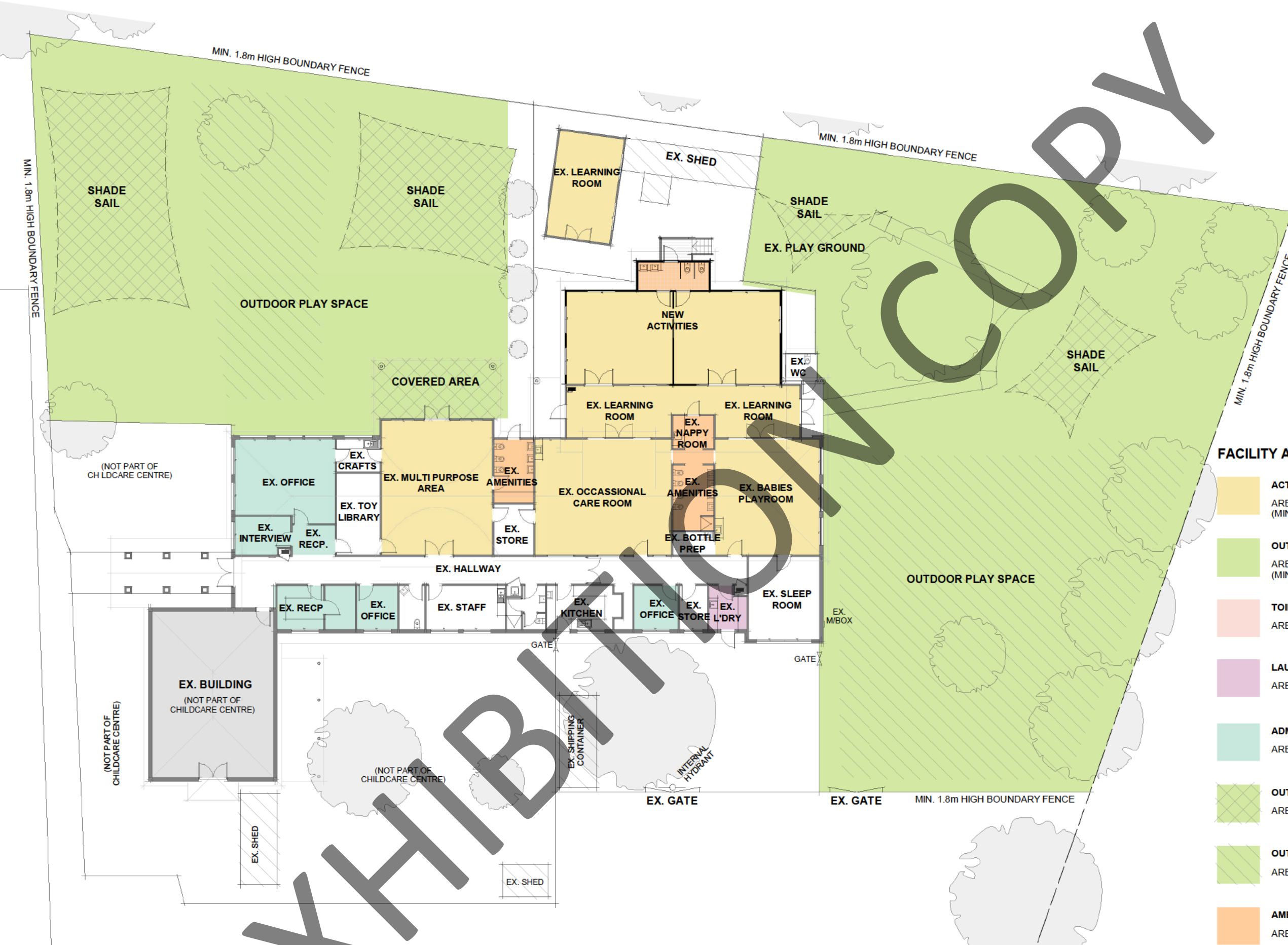
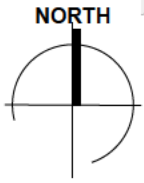
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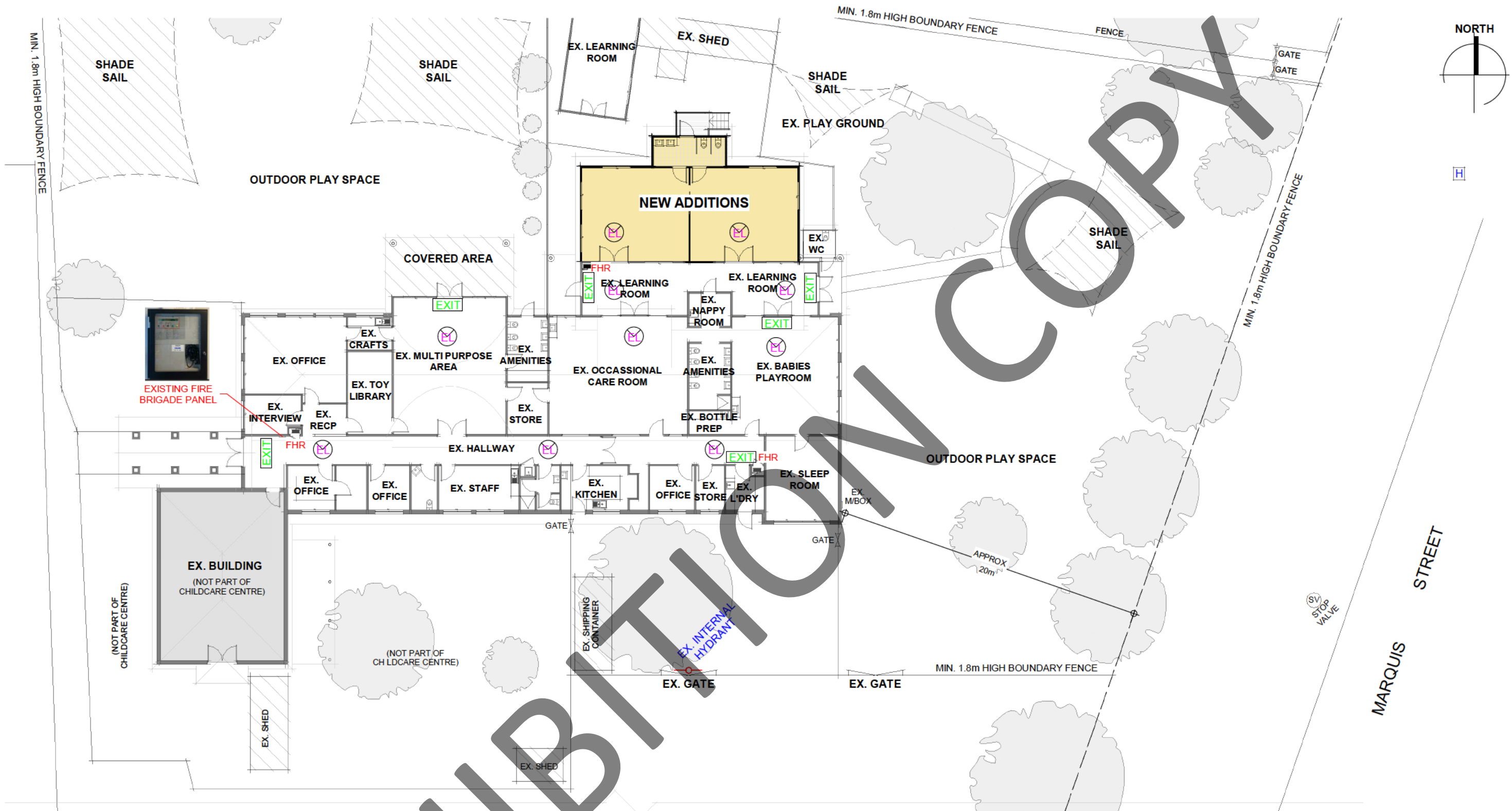
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- FACILITY AREAS:**
- ACTIVITIES ROOMS**
AREA = 339 sqm
(MIN. 3.25 sqm PER CHILD)
 - OUTDOOR SPACE**
AREA = 1735 sqm
(MIN. 7.0 sqm PER CHILD)
 - TOILET + HYGIENE AREAS**
AREA = 49 sqm
 - LAUNDRY + HYGIENE AREAS**
AREA = 49 sqm
 - ADMINISTRATIVE AREAS**
AREA = 79 sqm
 - OUTDOOR SPACE - SHADED**
AREA = 250 sqm
 - OUTDOOR SPACE- NATURAL ENVIRONMENT**
AREA = 540 sqm
 - AMENITY AREAS**
AREA = 39 sqm

FACILITIES AREAS PLAN

1 : 250



CONCEPT FIRE SERVICES PLAN

1 : 250

PROPOSED ALTERATIONS + ADDITIONS

LOT 1 DP1173974, 54 HUNTER STREET, GUNNDAH

MARY RANKEN CHILDCARE, GUNNDAH

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LEGEND

	EXIT SIGN
	EMERGENCY LIGHTING
	FIRE HOSE REEL
	FIRE HYDRANT

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21/01/2024
17/05/2024

PROJECT No.
1017-22

SHEET
A013

Ref: 1017-22

Date: 10/11/2023

The Manager
Gunnedah Shire Council
63 Elgin Street
Gunnedah NSW 2380

**RE: Request for further Information – DA 2023/017, 54 Hunter Street, Gunnedah
Proposed Alterations + Additions to the Existing Childcare Facility**

Dear Manager,

In response to RFI dated 12/04/2023, for the above DA, the below information is provided:

- 1.1 – A revised S of EE has been submitted to address the Childcare Planning Guideline 2021 document.
 - An additional plan has been added to the plan set, 'Facility Areas Plan' (A014) which outlines relevant areas in relation to the Childcare Planning Guideline.
- 1.2 – A revised set of Architectural Plans has been provided to address Clause 6.4 Gunnedah DCP (Sheet A006) and notes addressed in the revised S of EE.
- 1.3 – The revised set of plans have been amended to reflect the correct property address
- 1.4 – In relation to the proposed tree removal, it is noted that this existing tree has since been removed, as it was posing a risk of dropping limbs and causing injuring.

We hope this satisfies the information required to assess this application. If you require further information, please do not hesitate to contact us.

Kind regards,



Steve Edgar
S.A.E Design

STATEMENT OF ENVIRONMENTAL EFFECTS

For Project

PROPOSED ADDITIONS TO EXISTING CHILDCARE CENTRE

**LOT 1, DP1173974
54 Hunter Street
Gunnedah NSW 2380**

Author:
Steve Edgar, Director SAE Design
BA Design (Industrial)
Dip. Building Design
BDAA Accredited (No.6253)

[REDACTED]
[REDACTED]
[REDACTED]

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ACN:159077979

This document was commissioned as a Statement of Environmental Effects for Development Application lodgement with Tamworth Regional Council and demonstrates compliance with applicable environmental planning instruments including local plans and strategies.
Informed by the Environmental Planning and Assessment Act 1979

DATE	ISSUE	REVISION	AUTHOR	SUBMISSION FOR
	Draft	1		Client
	Final	2		Gunnedah Shire Council
07/03/2024	Re-Issue	3		Gunnedah Shire Council

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EXHIBITION COPY

1 INTRODUCTION

1.1 Introduction

The following Statement of Environmental Effects has been prepared to assist Gunnedah Shire Council in processing the attached development application for:

Applicant:	Gunnedah Family and Children's Services Inc.
Project:	Proposed Additions to existing Childcare Centre
Location:	54 Hunter Street, Gunnedah
Zone:	R2 Low Density Residential

This zoned precinct is an established centre for mixed use developments of varying scales + uses, including High School, Tafe, Hospital, Age Care + Showground. Marquis Street, Gunnedah is in a centralised location conveniently servicing the needs of the Gunnedah, Peel Valley & Liverpool Plains regions, with good access to other areas via Marquis Street, South Street & Oxley Highways.

The project was design to provided additional enclosed learning spaces for the Childcare Centre. The existing Mary Rankin Childcare Centre provides Family support and Childcare services for Gunnedah + the surrounding area. The building design aims at providing a functional addition in keeping with surrounding development and the amenity of the existing mixed use precinct.

The development design has taken into account the Environmental Planning Assessment Act 1979, the Gunnedah Local Environmental Plan and the associated Development Control Plan DCP 2012.

1.2 Background

The site is currently occupied by Gunnedah Family + Children's Services Inc., the existing Childcare building is owned by the Community and TAFE owns the land. Given the properties existing location and zoning, it was the intention of the owners to investigate the opportunity to develop the site and provide additional internal + external spaces for the Children at the centre.

In close proximity to this section of Marquis Street is an established area containing a number of mixed use Community based services and facilities, including Gunnedah Hospital, Gunnedah High School, Gunnedah TAFE College + an Aged Care Facility. Within close proximity along Marquis Street also are shopping Centres and other commercial business, the convenient access to the site all accounting to an ideal location for further Childcare services development.

There are a number of existing buildings on the site associated with Gunnedah High School and Gunnedah TAFE college, these establishments operate separately from the existing Mary Rankin Childcare Centre.

The site currently has an existing brick building with iron roof, it has been operating as a childcare centre since 1998, no operational changes are proposed as a result of the development.

The proposed additions will consist of 2 x new learning areas attached to existing main building, new amenities and a new deck area for seating + gatherings. Its anticipated the new additions will improve the everyday function of the centre, providing improved facilities for children + staff.

2 LOCALITY MAP



Figure 1. Location google.maps.

3 SITE SUITABILITY

3.1 Site constraints, Flooding, Slope, Geotechnical, Bush Fire and Subsidence

The land has a grade sloping from the front to the rear of the block.

The site is above the 1:100 year flood level.

There is no bushfire risk associated with this location.

There are no known geotechnical hazards associated with this site, and specifically there are no previous mine working known or suspected under the site.



Figure 2. Existing Site

3.2 Visual Setting



Figure 3. Aerial View ([google.maps.com.au](https://www.google.com.au/maps))

Item	Description	Approx. Size
(A)	Existing Childcare Building	680 sqm
(B)	Existing Carpark Area + Drop Off	
(C)	Site Entry	
(D)	Hunter Street	
(E)	TAFE Buildings	
(F)	Gunnedah High School	
(G)	Marquis Street	

Characteristics of the proposed development will include:

- New single storey additions to existing main building
- New single storey additions to existing classrooms
- New open deck area for gatherings

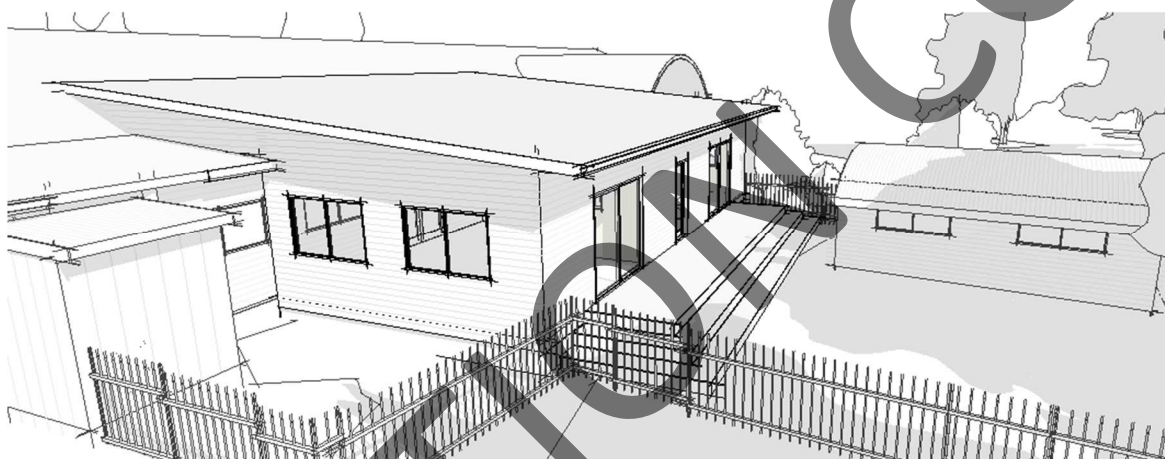


Figure 4. Proposed View (SAE DESIGN)

3.3 Proximity to Transport Services, Infrastructure and Community

Facilities:

Public transport in the form of bus routes and taxi ranks are available directly across the road on Marquis Street.

There are numerous ancillary services located immediately within the Marquis Street precinct, including shopping centres, medical facilities and schools.

3.4 Compatibility with adjoining developments

Adjoining developments are Educational establishments in form and are consistent with Council's requirements for this zone. There is the existing TAFE college on the west side and Gunnedah High school grounds + buildings to the north.

There is also the Gunnedah Hospital, a medical centre and varied residential developments directly adjacent the site on Marquis Street.

3.5 Planning Objectives

The site is zoned R2 Low Density Residential and permits Centre Based Childcare establishments as proposed. The design has taken into account the current DCP's and LEP for developments within this area.

The location of the Childcare Centre building is setback 20m from the Marquis Street and 90m from Hunter Street. The carparking area is on the West side sitting between the TAFE College and Childcare buildings.

The vehicle access to this carpark area is directly off Hunter Street. The carpark area is existing, no changes are proposed to the location or layout.

Disabled access from the car park area to the building already exist and will not be altered. Though the new buildings will work with the existing varied finished floor levels on the site, grounds within the site will still enable disabled access to the variety of indoor and outdoor spaces.

The carparking areas provide good site access and allow visitors to enter and exit the site in a forward direction.

The new additions will only partially visible from the carpark area and Marquis Street given the existing established vegetation and site infrastructure. The new additions will tie into the existing building structures, whilst also adopting consistent roof lines. The new roof is pitched at approximately 5 degrees.

The new buildings are single storey additions are on a site with varied floor levels to site. The new additions will be at the same finished floor level as the existing main building. The size and scale of the new building is within the GSC DCP guidelines.

There are no anticipated variations to the GSC DCP proposed.

All existing services are available to the new buildings including mains water, electricity and telecommunications. Sewer and stormwater infrastructure are already available and utilised on the site.

3.6 Compliance with relevant planning controls

Gunnedah Local Environmental Plan	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
Gunnedah Development Control Plan	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
<i>Other relevant State Environmental Planning Policies</i>	
SEPP No. 44 – Koala Habitat Protection	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
SEPP No. 55 – Remediation of Land	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A
SEPP No. 64 – Advertising and Signage	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
SEPP – Infrastructure (Schedule 3)	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A

SEPP No. 55- The site has an existing building, which has been operating for 24 years, there is no known contamination issues relating to the site.

SEPP (Transport + Infrastructure) Part 3.3 – The site has an existing building and currently operates as a Child Care Centre. Below area items address in the Childcare Planning Guidelines:

Clause 3.23

Regulation- Child Care Planning Guideline:	Proposed
104. Fencing or barrier that encloses outdoor spaces: Existing Powdercoated metal playground fences Existing Colorbond fence on boundary	 1.5m high 1.8m high
106. Laundry and hygiene facilities: Existing laundry + cleaning	 There are existing laundry facilities on within the building
107. Unencumbered indoor space: 39 Children/3.25sqm per Child (min. 127sqm)	 400 sqm
108. Unencumbered outdoor space: 39 Children/7.0sqm per Child (min. 273sqm)	 1735 sqm
109. Toilet and hygiene facilities: Existing Toilets Existing Hand basins Proposed Toilets <u>Proposed Handbasins</u> Total Toilets Total Handbasins	 8 7 2 <u>2</u> 10 9
110. Ventilation and natural light:	Existing + proposed Doors + Windows Refer attached plans
111. Administrative space:	Existing Administrative Area 73sqm
112. Nappy change facilities:	Existing Nappy Change Area Refer attached plan
113. Outdoor space—natural environment:	Existing Outdoor Space (Natural) 540sqm
114. Outdoor space—shade:	Existing Outdoor Space (Shaded) 250sqm

115. Premises designed to facilitate supervision:	Existing + proposed Doors + Windows Refer attached plans
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Clause 3.24

The site is Zone R2 Low Density Residential and permits Centre Based Childcare establishments as proposed. Surrounding the development are other educational establishments which would consider the development to be compatible with neighbours.

The existing building is currently used as a CBCCF and therefore, the proposal is to add additional learning space, this proposal would not impact on the potential of restricting operations of existing land uses.

The existing centre is located in amongst other established educational facilities, there are no existing health or safety issues with the site and the new additions proposed are within the boundaries of the existing site.

A large established tree was removed from the site as part of the development, although this does not pose as an immediate safety risk, the removal of the tree could be considered a safety measure to eliminate the risk of falling limbs with the centre grounds + risk to safety.

The floor space ratio of the site is as follows:

Existing Tafe Building Areas	4100 sqm (approx.)
Existing High School buildings	7200 sqm (approx.)
Existing CBCCF buildings	680 sqm
Proposed CBCCF additions	100 sqm

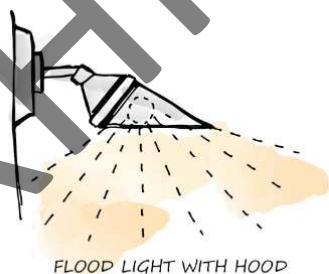
Total site building areas 12100 sqm (approx.)

Existing site area: 154000sqm

Proposed site area ratio= 0.08:1

GSC DCP 2012 Outdoor Lighting:

All external lighting to have directional lighting + hooded lighting to prevent light spill + impacts on surrounding properties.



3.7 Size and Shape of Allotments

The area of the subject site is 15.4 Ha (Lot 1 DP1173974).

The site is an 'L' shape site, with vehicle access from Hunter Street, the southern street frontage.

Proposed Site Plan (fig 5.)

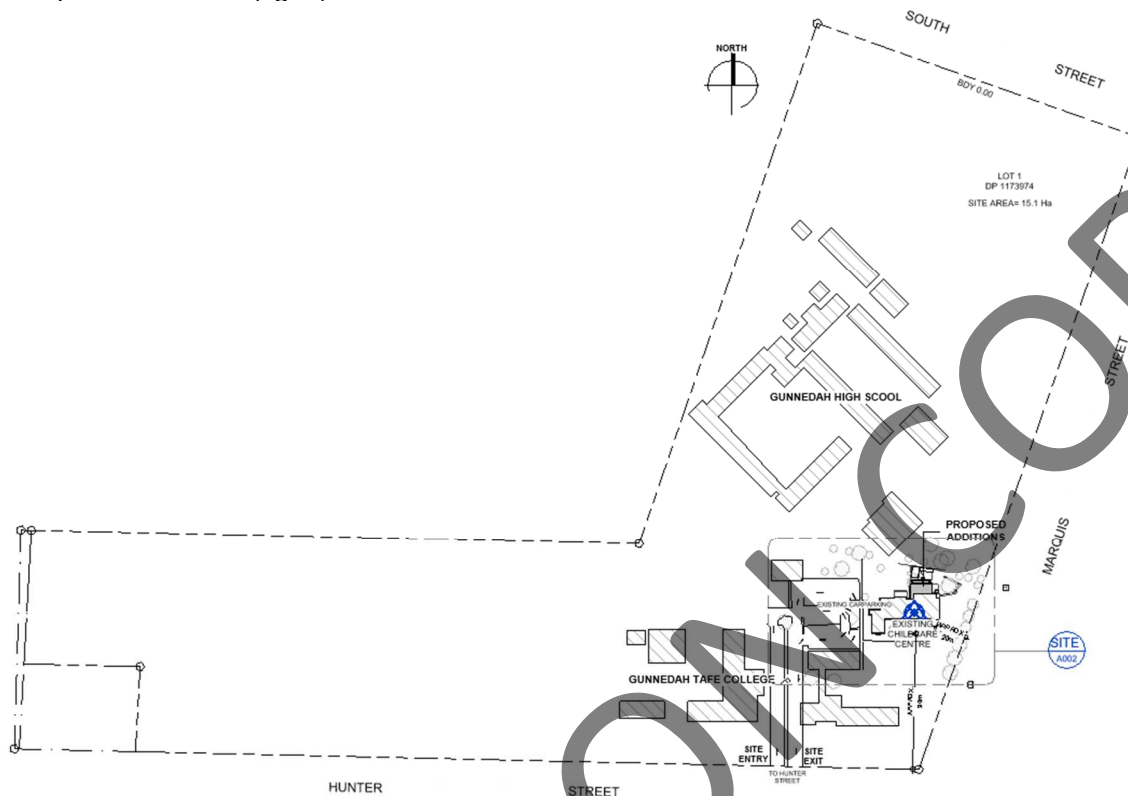


Figure 5. Proposed Site Plan SAE Design

3.8 Age and condition of existing buildings

The site has a number of existing buildings, of various ages, all buildings are of sound construction and occupied regularly.

4 PRESENT AND PREVIOUS USE

4.1 Present use of site

The current premises is an existing Childcare Centre.

4.2 Date present use commenced

The current childcare centre began operation in 1998.

4.3 Previous uses of site

The site was originally a TAFE campus and High School, these 2 establishments continue to operate on the same block of land.

4.4 Present use of adjoining land

The adjoining land to the west side is the Gunnedah Showground. Adjacent Marquis Street is Gunnedah Hospital, Age Care Facility and a Baptist Church.

Also to the west are smaller block occupying the Gunnedah PCYC and Indigenous Lands Council.

4.5 Contaminated land

There are no known contaminations on the site.

5 ACCESS AND TRAFFIC

5.1 Pedestrian amenity

The existing carpark has direct access to the Childcare Centre, which is a single storey building.

5.2 Vehicle access to public roads

A driveway to access the carpark is entered off Hunter Street. The carpark is shared with the TAFE Campus.

Hunter Street is one of the primary streets to access the grounds, this particular area of Gunnedah has been designated to accommodate a range of community establishments, the street has typical traffic volumes consistent with flows generally associated with access to Schools, Hospitals, Churches and the surrounding precinct.

There are no know existing traffic issues associated with this section of Hunter Street, there are no anticipated increase to the existing traffic volumes.

5.1 Hours of Operation

It is anticipated the hours of operation for the building will be:

MONDAY TO FRIDAY	8:00am to 4:30pm
SATURDAY	Closed
SUNDAY + PUBLIC HOLIDAYS	Closed

5.2 Employee + Visitor Details

The existing Childcare Centre employs 14 full time + part time staff. The Centre is licensed for 39 children, no anticipated increases to staff or Child numbers are proposed.

The new building will look at improving the functionality and efficiency of the current child care centre, the inclusion of additional enclosed + outdoor learning proposed are proposed and considered beneficial in the centres services to the community.

5.3 Car park calculations

Calculations are in accordance with Gunnedah's DCP (2012) Guidelines resulting in a total of 8 car parks allocated to the Childcare Centre

1 space per 5 Children (Total 39 Children) = 8 car spaces

Total spaces provided = 8 car spaces

5.4 Traffic Generation

The existing Childcare Centre establishment consists of regular vehicle movements associated with a Childcare Centre.

There is a dedicated pick up and drop off zone directly adjacent the buildings entry. Given there are no planned increases to the number of staff and children at the centre, the existing traffic flows are anticipated to remain the same.

There are no known existing traffic issues associated with the carparking area.

5.5 Conflicts between vehicles and pedestrians

The development has carparking providing direct access to the Childcare Centre. There is an existing dedicated drop off zone adjacent the front entry.

With the proposed site access and pedestrian movements, no conflicts with pedestrian flows are anticipated.

6 PRIVACY, VIEWS AND OVERSHADOWING

6.1 Visual Privacy

The proposal will not impact on privacy on neighbouring establishments. There are no windows or structures proposed that would impact privacy.

The buildings new additions are setback (approx. 30m) from the street and will have minimum to no impact on the street aesthetic.

6.2 Acoustic Privacy

The positions of the buildings have been designed to maximize floor area and minimize the impacts on acoustic privacy.

With the considered internal spaces and courtyard areas the proposal aims to minimise any acoustic privacy issues with neighbouring properties.

Neighbouring properties are non-residential, no acoustic impacts are considered an issue.

6.3 Views

The size and scale proposed building is single storey and consistent with the existing surrounding buildings.

Neighbouring properties are non-residential, no impact on existing views are considered an issue.

6.4 Overshadowing

The proposed building is a single storey building, overshadowing is not considered an issue with this proposal.

7 AIR AND NOISE

7.1 Noise

Existing external noise sources near the block include road noise. No existing external noise is considered to potentially affect the amenity of the proposal.

Existing noise from traffic flow and children playing existing on the site, these noises sources are expected and will be relevant to general everyday operations. No specific noise reduction measures are considered necessary.

7.2 Anticipated construction activity

Construction hours	Monday to Saturday 7AM to 5PM
Type of equipment	Pengo drilling rig, crane, trucks as required, Excavator, electric power tools
Comment	None of the anticipated activities will adversely affect adjoining properties

8 SOIL AND WATER

8.1 Reticulated supply

Water supply is already connected to the site, no fixtures will connect into existing supplies.

8.2 Water efficiency

All new plumbing fixtures within the new building will be fitted with water efficient fittings.

8.3 Drainage

Existing council stormwater infrastructure runs along Marquis Street.

Stormwater from the new buildings will be connected into the existing stormwater system.

8.4 Easements

There are no known easements on the site.

8.5 Sewer Service

All new sewer will be connected into the existing sewer system, there is existing sewer services on the block.

8.6 Water quality control

There are no water quality issues associated with this development.

8.7 Erosion and sediment control

Erosion and Sediment Control Plan measures will include silt fencing and sandbagging to control potential stormwater flows on the site prior to completion of building works.

9 HERITAGE

The development does not involve any heritage item, either directly or by virtue of streetscape or visual impact.

10 ENERGY

10.1 Orientation

The proposed new additions will be added onto existing building structures on the site, placement of glazing and shading have been considered in the design.

10.2 Insulation

The proposed buildings roofs will be selected Insulated roof panels, with insulation and sarking as required by the proposed Section J certificate.

The Insulated wall panel incorporate insulation to achieve the required minimum R-value for construction proposed in the Section J Certificate.

Where stud framed walls are proposed, insulation and sarking will be added to achieve the minimum NCC R-Values.

10.3 Natural Ventilation

Operable doors + windows are proposed at the front of the building to allow the opportunity to facilitate natural ventilation.

10.4 Heating, Cooling and Lighting

The proposed units will have air-conditioning units for heating and cooling.

All rooms will have artificial lighting in accordance with wattage allowances for the Section J Certificate will utilise either LED or fluorescent light fittings. No incandescent lights are anticipated for general use within the building.

10.5 Water heating

It is proposed that Instantaneous Gas instantaneous hot water systems will be installed for the bathroom, with water temperature control measures to satisfy NCC standards.

11 WASTE

Waste material generated will be minimal consisting of general office waste, paper and cardboard packaging.

General waste and paper recycling bins are provided on the block to be disposed of via the local GSC waste disposal scheme.

No anticipated specific trade waste requirements are anticipated for the medical practices.

12 CONCLUSION

This established educational precinct has been planned in anticipation of attracting and securing community related developments into the area. With the location of the development being close to Gunnedah TAFE, Gunnedah Hospital, Shopping Centres, Schools and businesses the proposed development is a positive addition to this area.

The new development aims to satisfy Childcare needs for the community, with a Childcare centre development close to a variety of other community services and facilities it is meeting the day to day needs of the potential child occupants.

By attracting further Childcare related opportunities the proposed development at 54 Hunter Street aims to contribute positively to the existing precinct and provide benefits to the local economy and surrounding community

Prepared by **SAE Design**